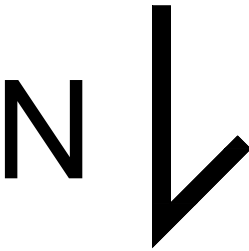
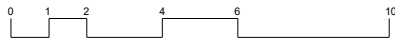
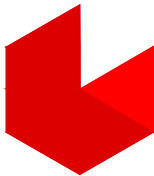


PROPOSED SITE PLAN
SCALE 1:200



DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



SA United Developments

50,Garden Terrace
Lockleys SA 5032

P: 0413 498 094
E: estimatingsa@gmail.com

Client
JESSE & MATT
Proposed Works
2 Storey Dwellings

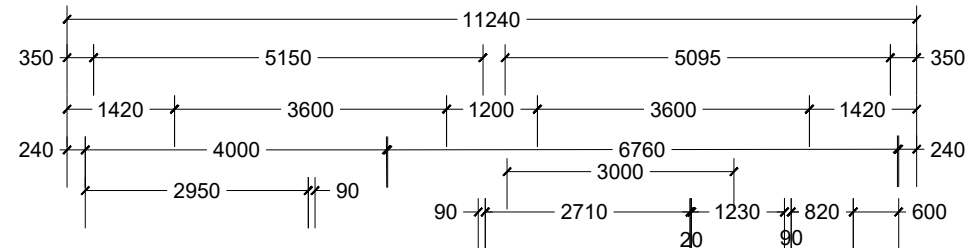
Site Address
**38,GARDEN TERRACE,
UNDERDALE**

DATE :	NOV 2017
DRAWN :	UPAL RAJ
SHEET :	1 OF 16
JOB NO. :	A002

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER
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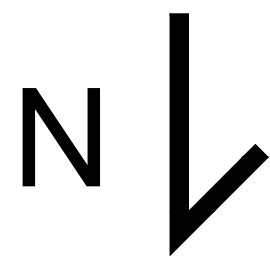
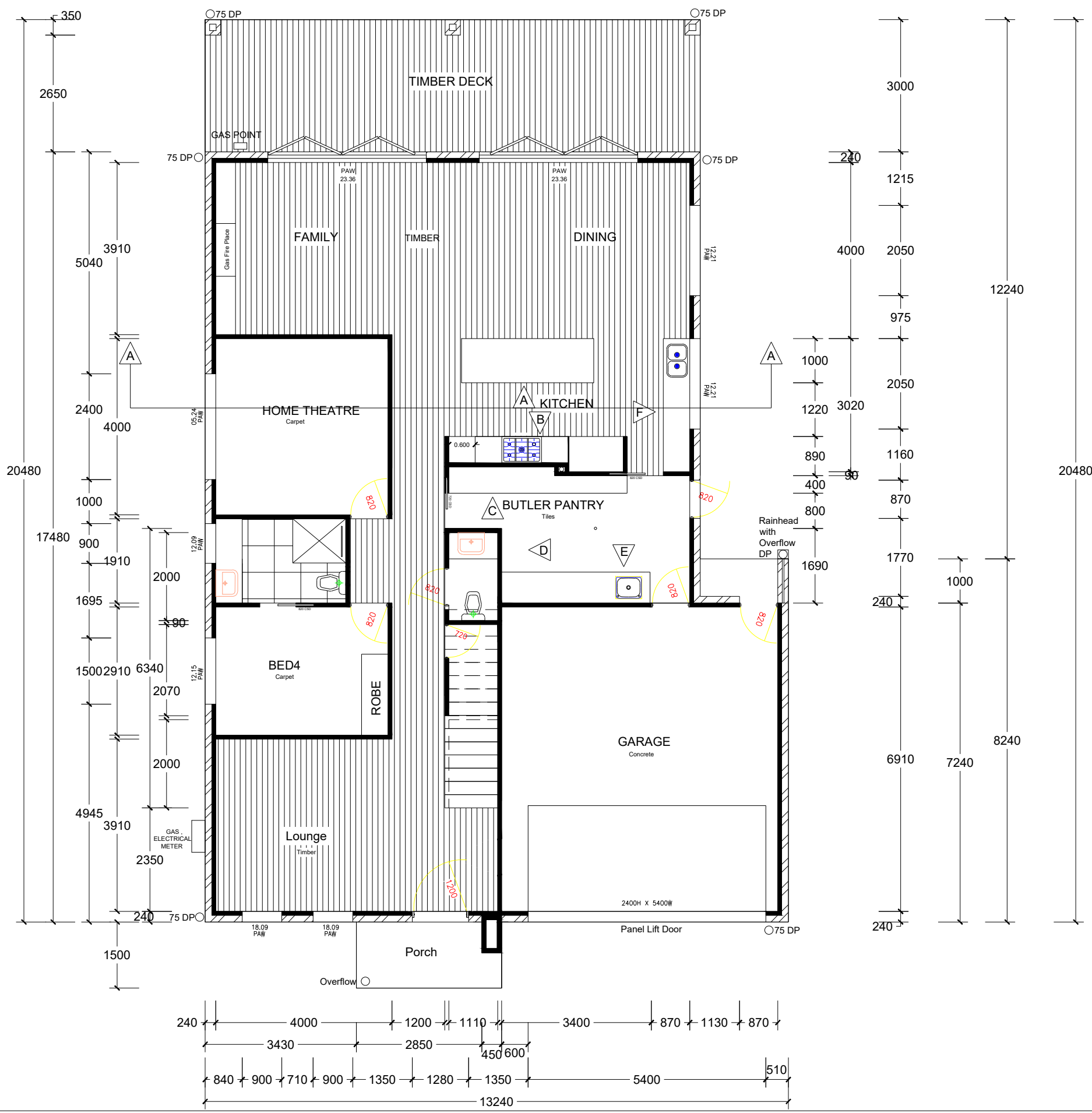
AREA SCHEDULE

SITE	789.67 m2
GROUND FLOOR	
LIVING	157.66 m2
PORCH	5.85 m2
GARAGE	55.29 m2
BBQ AREA	33.72 m2
FIRST FLOOR	
LIVING	177.03 m2
TOTAL	429.55 m2
SITE COVERAGE 32%	252.52 m2
PRIVATE OPEN SPACE 45%	355 m2

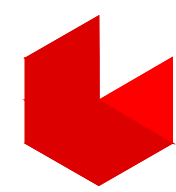


PROPOSED GROUND FLOOR PLAN

SCALE 1:100



DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



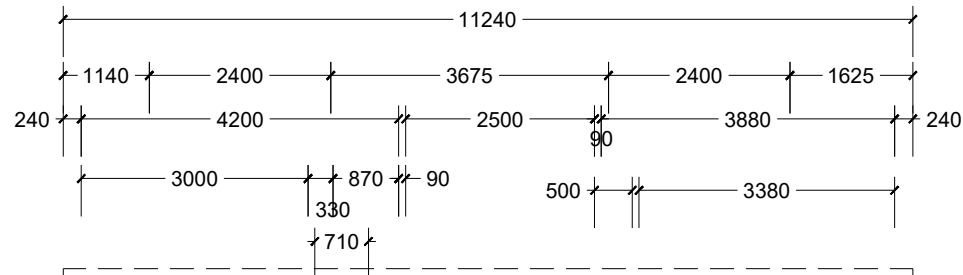
SA United Developments

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Lockleys SA 5032
P: 0413 498 094
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Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38,GARDEN TERRACE,
UNDERDALE**

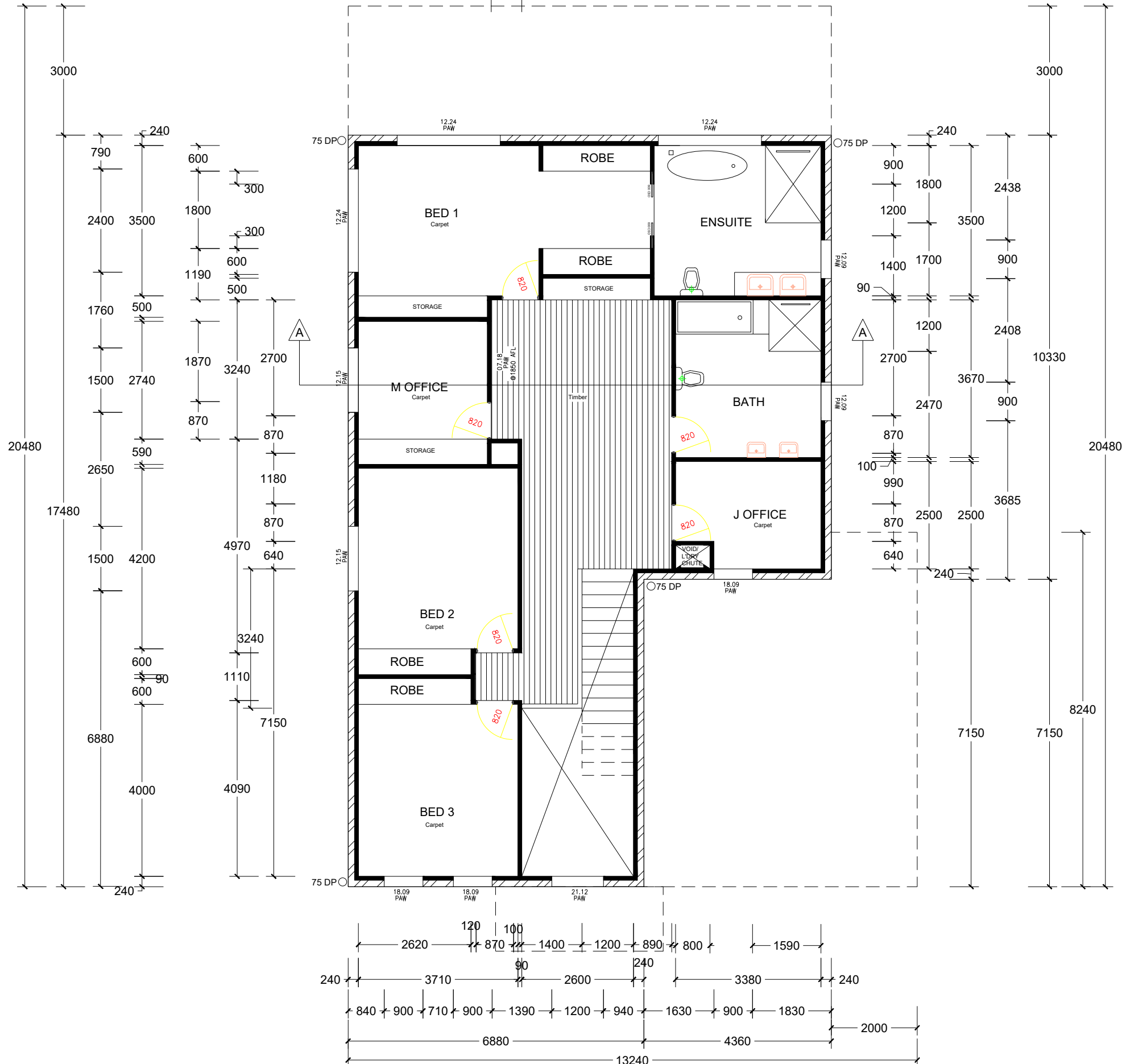
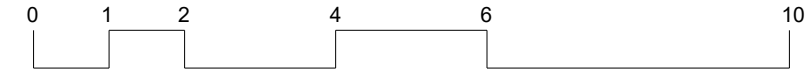
DATE :	NOV 2017
DRAWN :	UPAL RAJ
SHEET :	2 OF 16
JOB NO. :	A002

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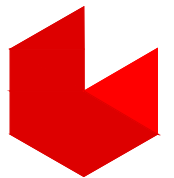


PROPOSED FIRST FLOOR PLAN

SCALE 1:100



DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



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E: estimating@sa.com.au

Client

JESSE & MATT

Proposed Works

2 Storey Dwellings

Site Address

**38, GARDEN TERRACE,
UNDERDALE**

DATE : NOV 2017

DRAWN : UPAL RAJ

SHEET : 3 OF 16

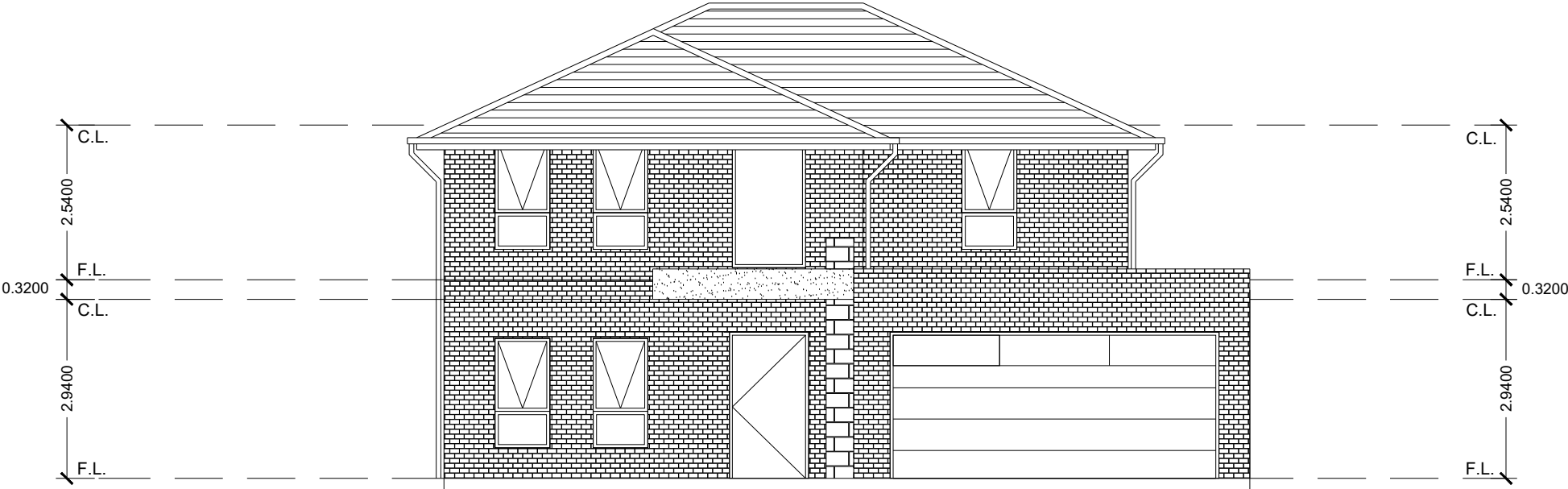
JOB NO. : A002

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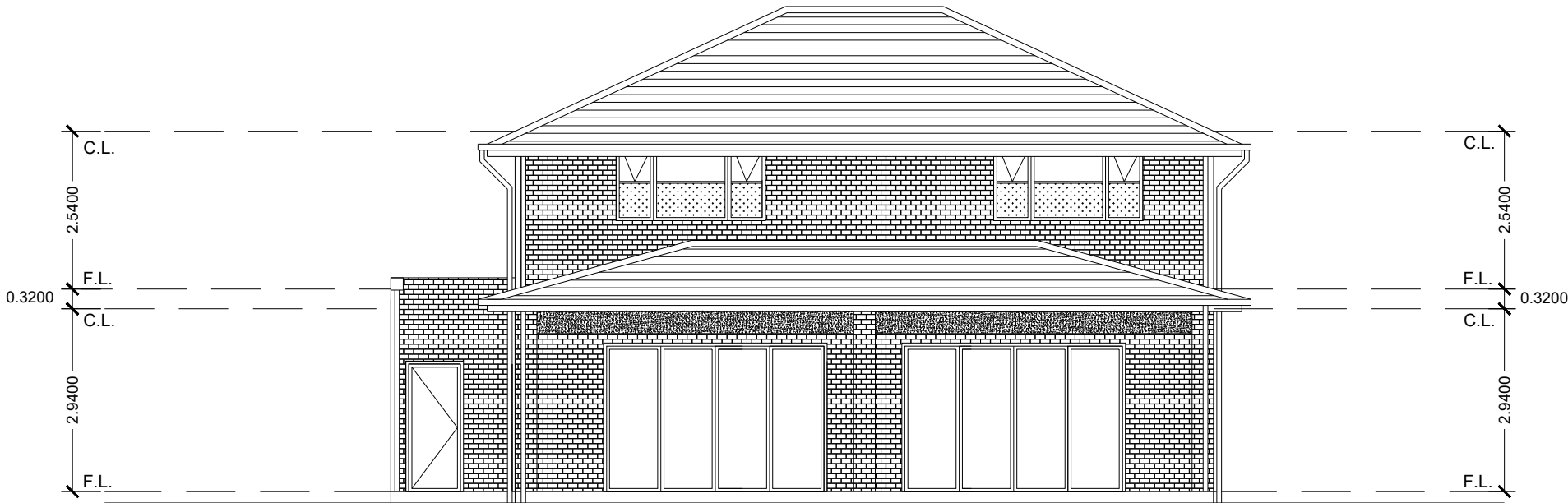
BUILDING AND COLOR SCHEDULE		
ITEM	CONSTRUCTION	COLOR
FLOORS	CONCRETE RAFT SLAB & FOOTING TO ENGINEERS DESIGN	-
WALLS	TIMBER FRAME WITH BRICK VENEER	LIQOURICE
ROOF	COLORBOND	BASALT
WINDOWS	ALUMINIUM	MONUMENT
PANEL DOOR	COLORBOND	SHALE GREY

PROPOSED ELEVATIONS

SCALE 1:100

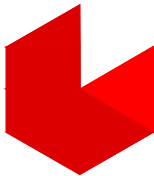


FRONT ELEVATION



REAR ELEVATION

DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



SA United Developments

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E: estimatingrsa@gmail.com

Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38,GARDEN TERRACE,
UNDERDALE**

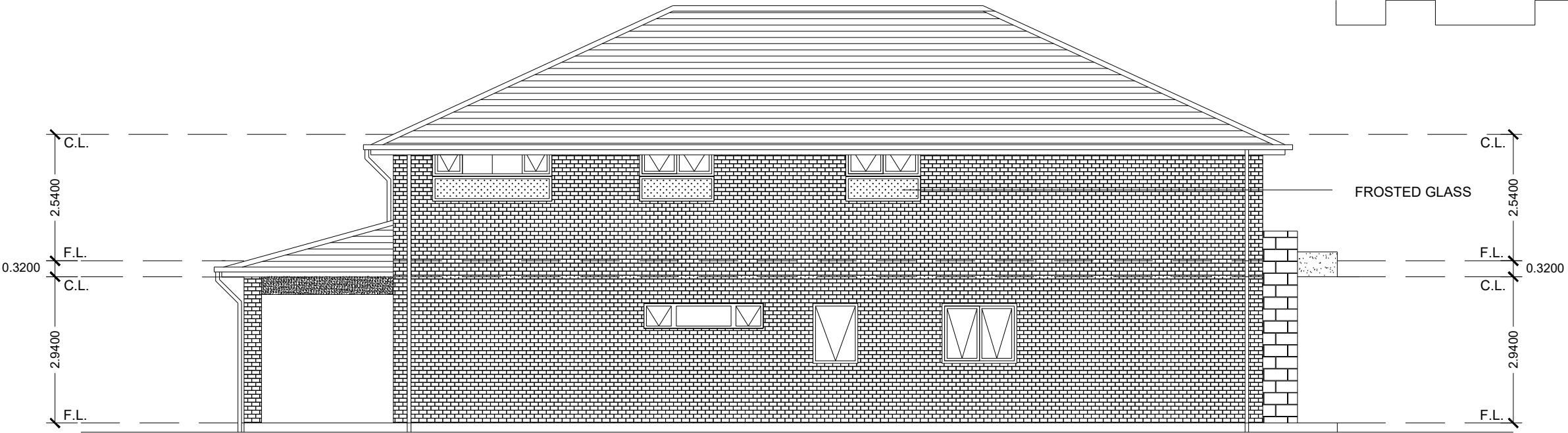
DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 4 OF 16
JOB NO. : A002

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER
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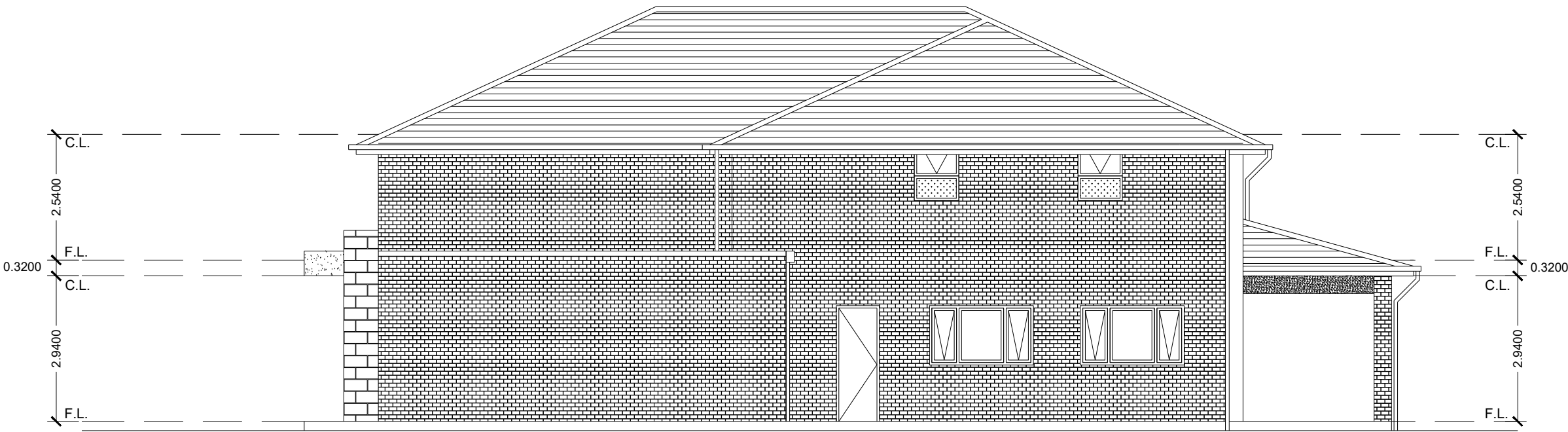
BUILDING AND COLOR SCHEDULE		
ITEM	CONSTRUCTION	COLOR
FLOORS	CONCRETE RAFT SLAB & FOOTING TO ENGINEERS DESIGN	-
WALLS	TIMBER FRAME WITH BRICK VENEER	LIQOURICE
ROOF	COLORBOND	BASALT
WINDOWS	ALUMINIUM	MONUMENT
PANEL DOOR	COLORBOND	SHALE GREY

PROPOSED ELEVATIONS

SCALE 1:100

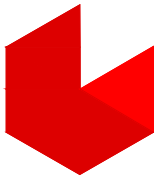


SIDE ELEVATION



SIDE ELEVATION

DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



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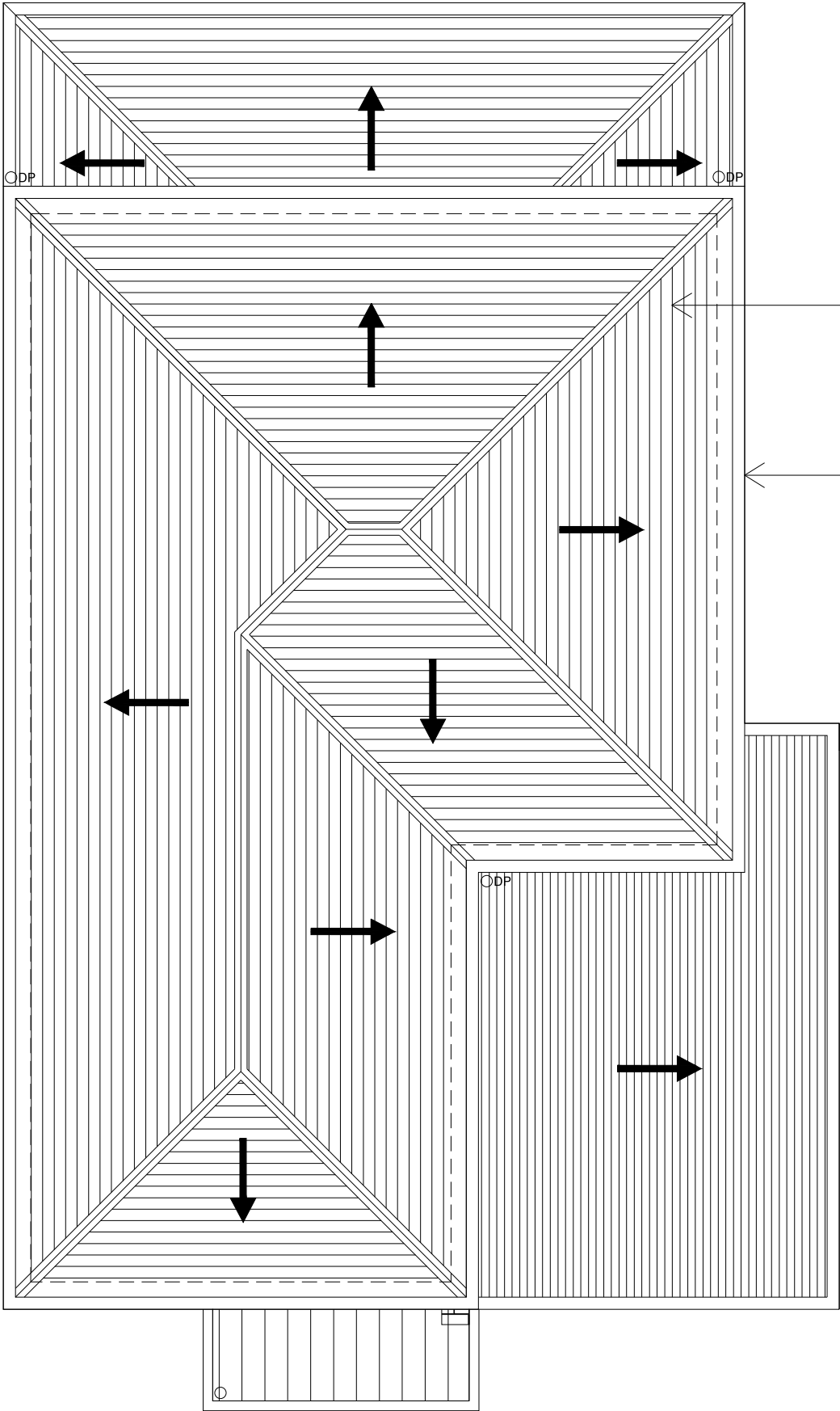
Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38,GARDEN TERRACE,
UNDERDALE**

DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 5 OF 16
JOB NO. : A002

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IMMEDIATELY

PROPOSED ROOF PLAN

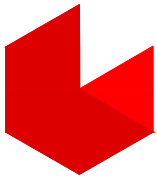
SCALE 1:100



COLORBOND CUSTOM ORB ROOF SHEETING AT 25 DEGREE ROOF PITCH

450 MM WIDE EAVES LINED WITH HARDIFLEX LINING

DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



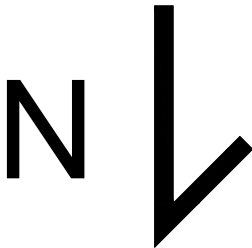
SA United Developments

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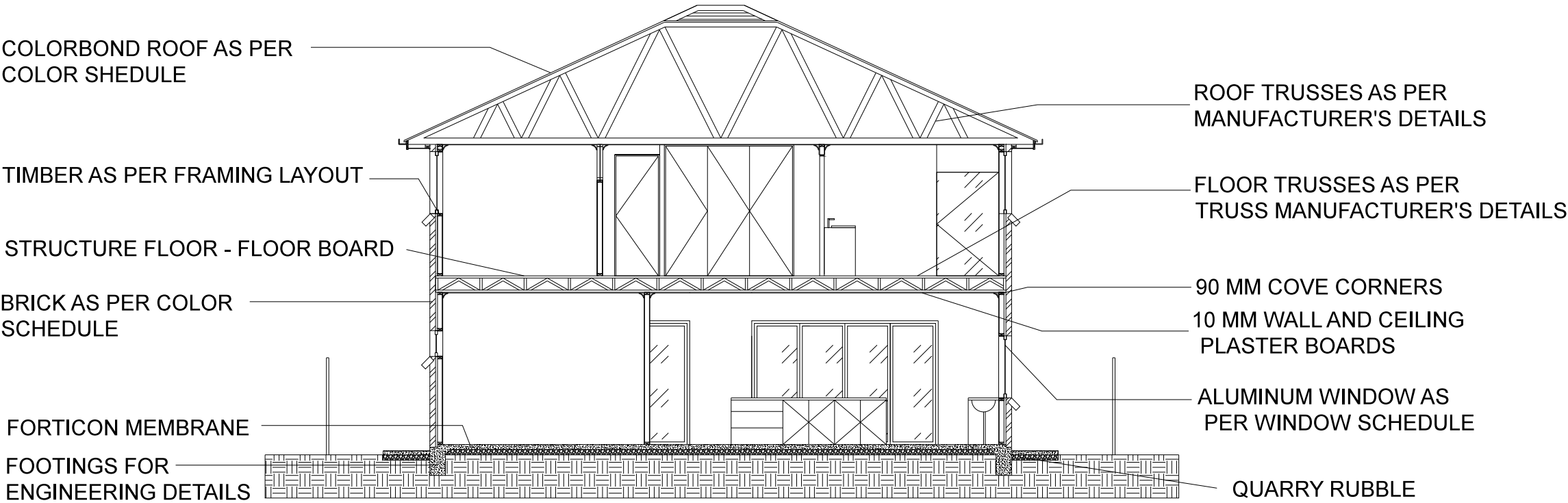
Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38, GARDEN TERRACE,
UNDERDALE**

DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 6 OF 16
JOB NO. : A002

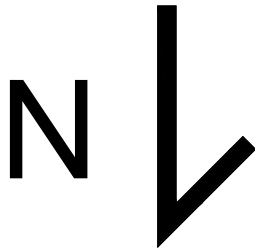
FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DRAWINGS. VERIFY DIMENSIONS AND LEVELS BEFORE COMMENCING ANY BUILDING WORK. ANY DISCREPANCY TO BE REPORTED TO DESIGNERS IMMEDIATELY



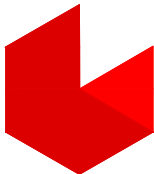
PROPOSED SECTION
SCALE 1:100



SECTION A-A



DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



SA United Developments

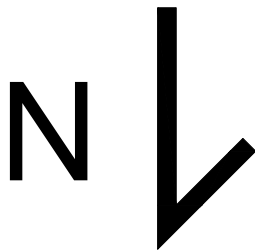
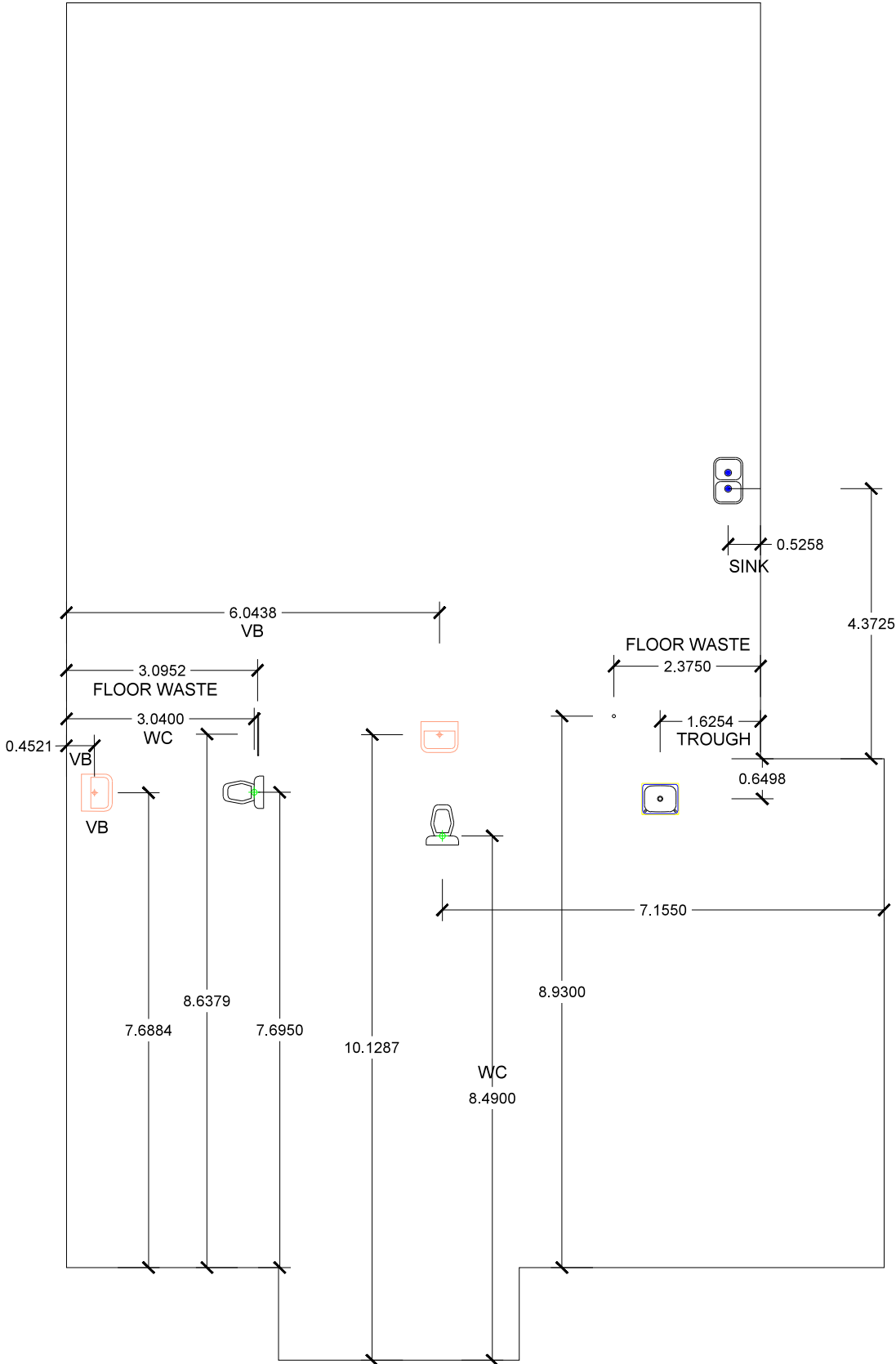
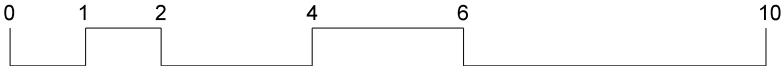
50, Garden Terrace
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Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38, GARDEN TERRACE,
UNDERDALE**

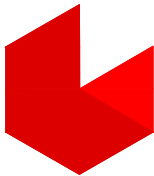
DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 7 OF 16
JOB NO. : A002

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PROPOSED PLUMBING PLAN
GROUND FLOOR
SCALE 1:100



DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



SA United Developments

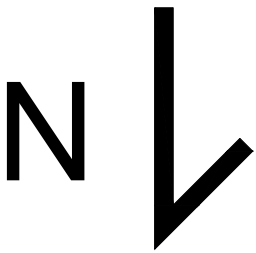
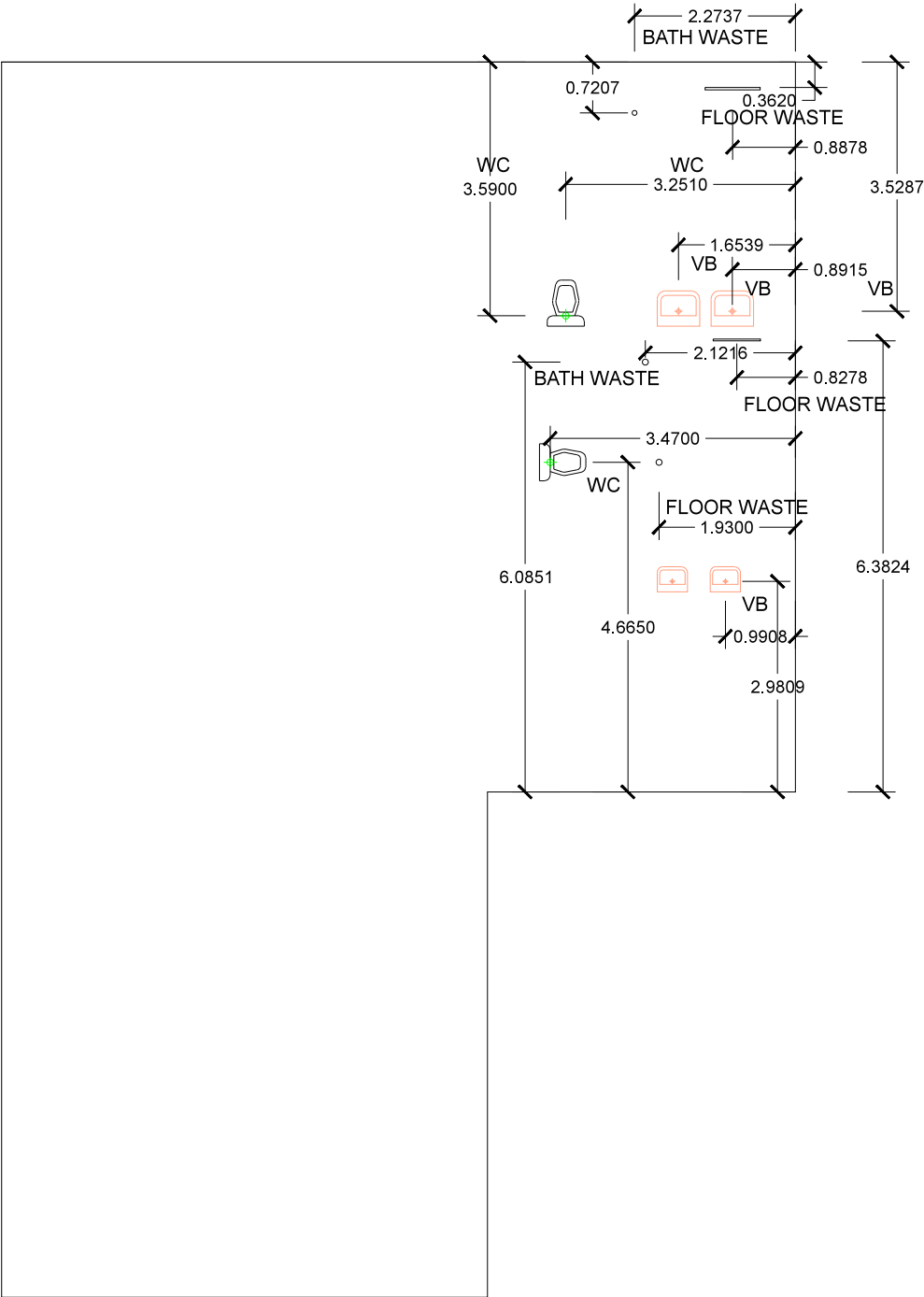
50, Garden Terrace
Lockleys SA 5032
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E: estimating@sa.com.au

Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38, GARDEN TERRACE,
UNDERDALE**

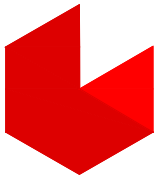
DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 8 OF 16
JOB NO. : A002

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PROPOSED PLUMBING PLAN
FIRST FLOOR
SCALE 1:100



DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



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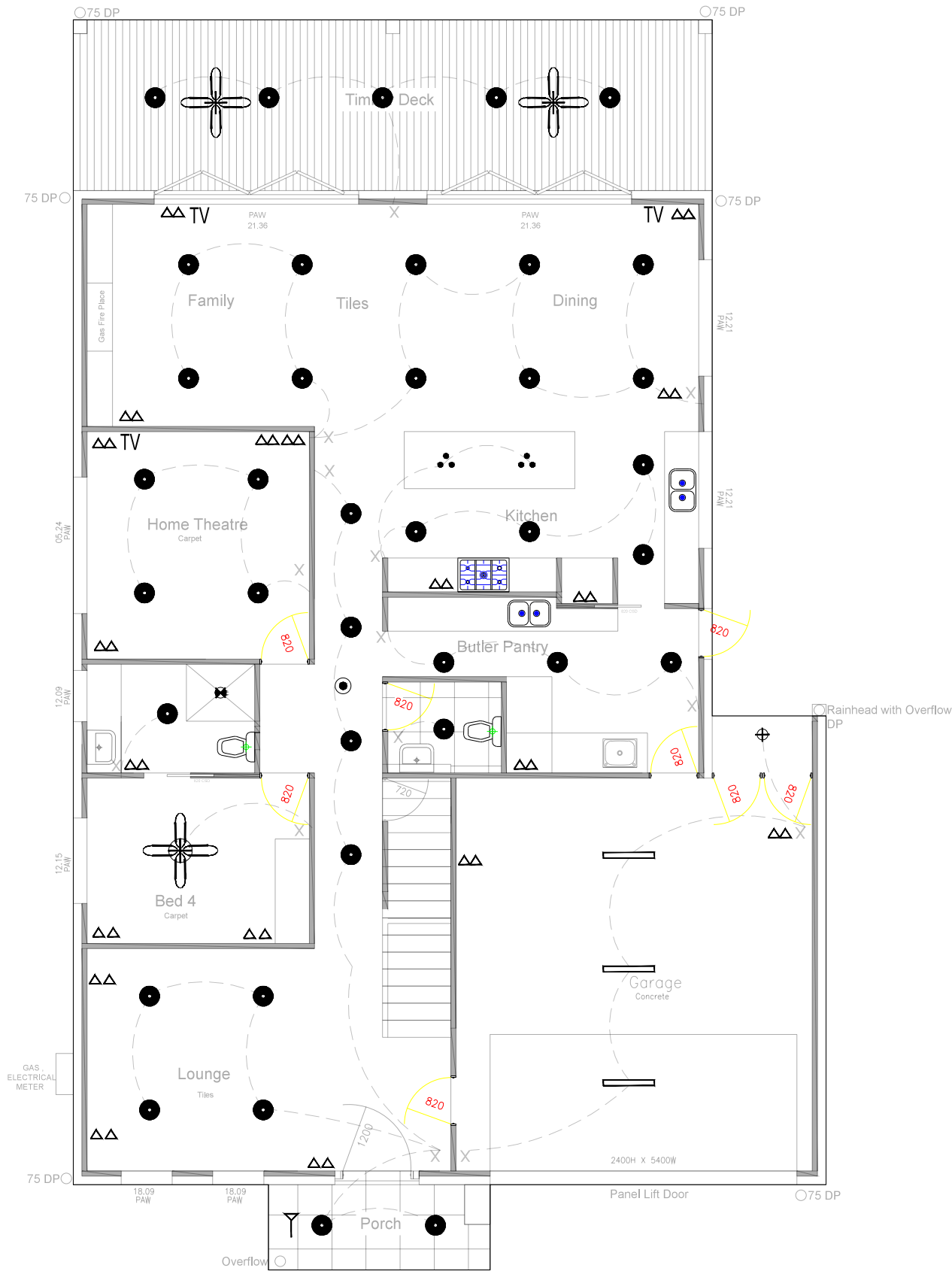
50, Garden Terrace
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E: estimating@sa.com.au

Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38, GARDEN TERRACE,
UNDERDALE**

DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 9 OF 16
JOB NO. : A002

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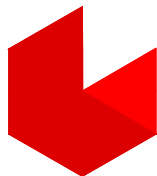
PROPOSED GROUND FLOOR
ELECTRICAL PLAN
SCALE 1:100



ELECTRICAL LEGEND	
ICON	ITEM
	SINGLE POWER OUTLET
	DOUBLE POWER OUTLET
	DOWN LIGHT LOW VOLTAGE
	LIGHT BATTEN HOLDER
	TWO WAY CIRCUIT
	EXHAUST FAN
	CEILING FAN
	HARD WIRED DOOR BELL
	WEATHER PROOF
	LIGHT SWITCH
	3 IN 1 BATHROOM LIGHTS
	METER BOX
	SMOKE DETECTOR HARD WIRED WITH B/BACKUP
	PHONE OUTLET
	TELEVISION OUTLET
	FLUORESCENT LIGHT
	PENDANT FEATURE LIGHT
	CEILING FAN WITH LIGHT
	INTERNAL WALL LIGHT
	EXTERNAL WALL LIGHT
	HOT WATER SYSTEM
	SENSOR WITH LIGHT
	A/C EXTERNAL UNIT
	A/C SPLIT SYSTEM HEAD UNIT

APPLIANCES		
	GAS	EL.
H/P	✓	
OVEN	✓	
HWS		
✓	ELECTRIC	
	GAS	
NOTE EXTRA POWER PT REQUIRED)		
PHASES		
✓	SINGLE	
	THREE	

DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



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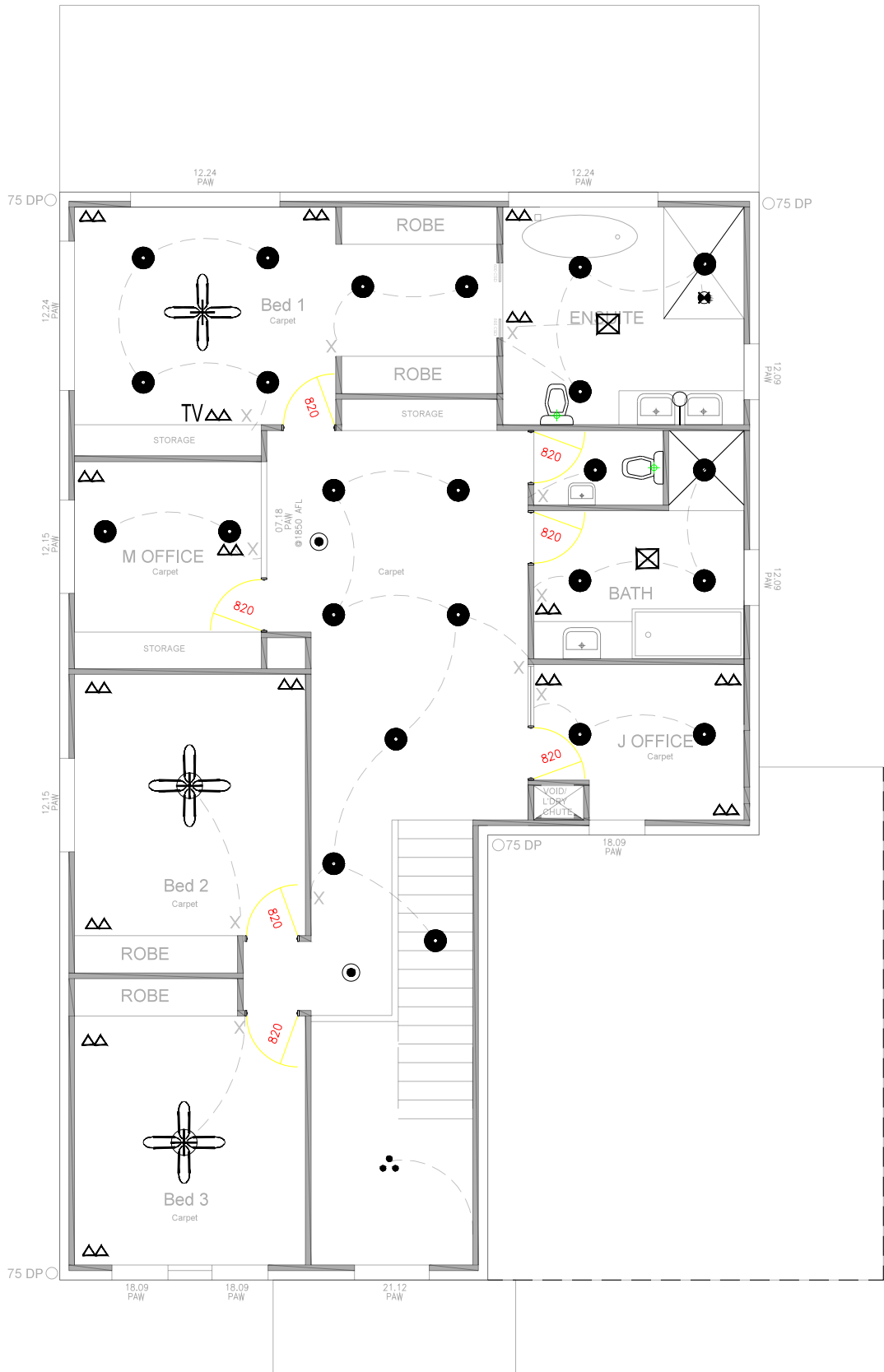
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Client
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Proposed Works
2 Storey Dwellings
Site Address
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DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 10 OF 16
JOB NO. : A002

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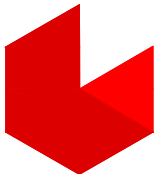
PROPOSED FIRST FLOOR
ELECTRICAL PLAN
SCALE 1:100



ELECTRICAL LEGEND	
ICON	ITEM
	SINGLE POWER OUTLET
	DOUBLE POWER OUTLET
	DOWN LIGHT LOW VOLTAGE
	LIGHT BATTEN HOLDER
2	TWO WAY CIRCUIT
	EXHAUST FAN
	CEILING FAN
B	HARD WIRED DOOR BELL
WP	WEATHER PROOF
X	LIGHT SWITCH
	3 IN 1 BATHROOM LIGHTS
	METER BOX
	SMOKE DETECTOR HARD WIRED WITH B/BACKUP
P	PHONE OUTLET
TV	TELEVISION OUTLET
	FLUORESCENT LIGHT
	PENDANT FEATURE LIGHT
	CEILING FAN WITH LIGHT
	INTERNAL WALL LIGHT
	EXTERNAL WALL LIGHT
	HOT WATER SYSTEM
	SENSOR WITH LIGHT
	A/C EXTERNAL UNIT
	A/C SPLIT SYSTEM HEAD UNIT

APPLIANCES		
	GAS	EL.
H/P	✓	
OVEN	✓	
HWS		
✓	ELECTRIC	
	GAS	
NOTE EXTRA POWER PT REQUIRED)		
PHASES		
✓	SINGLE	
	THREE	

DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



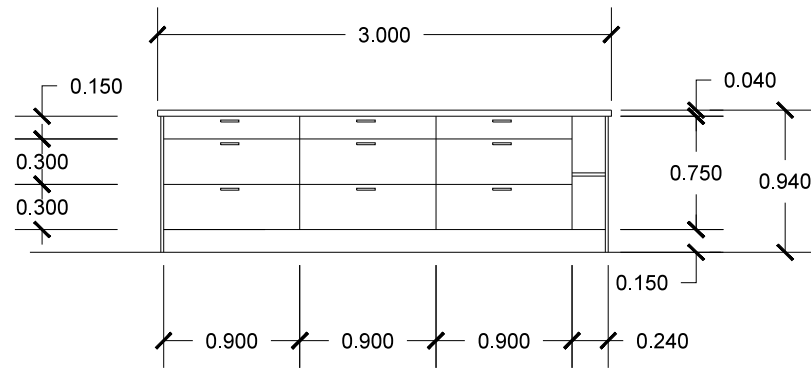
SA United Developments

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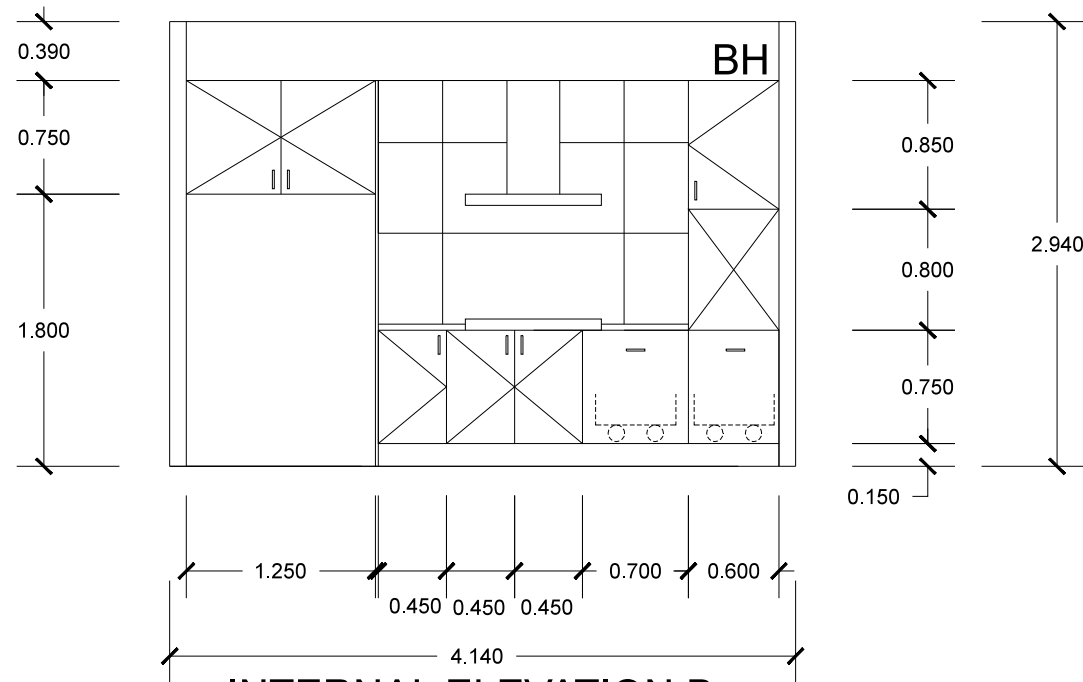
Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38,GARDEN TERRACE,
UNDERDALE**

DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 11 OF 16
JOB NO. : A002

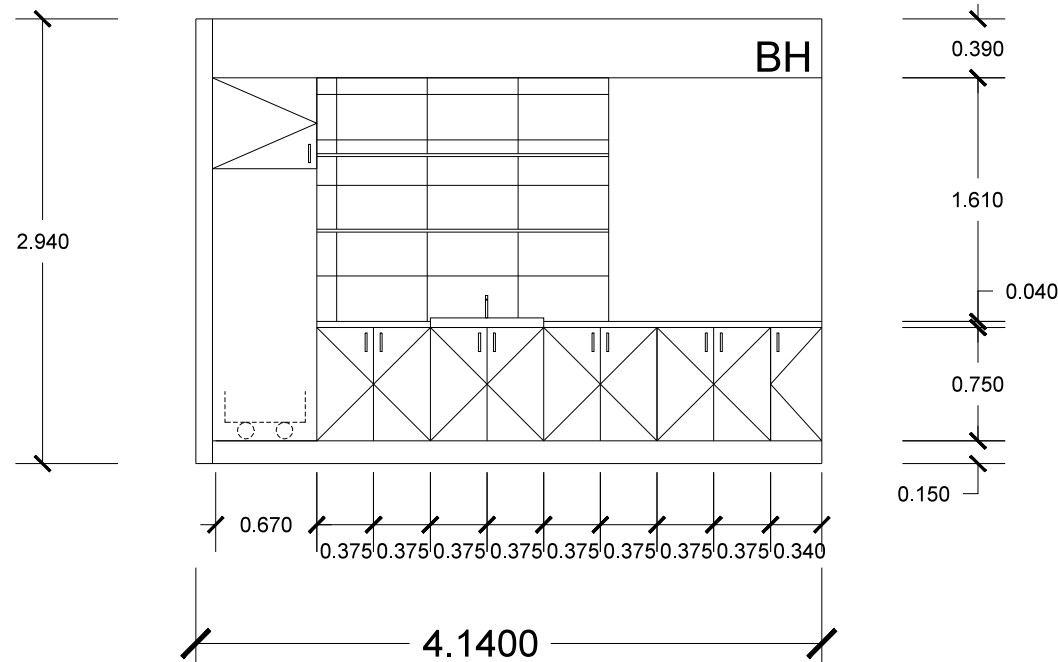
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INTERNAL ELEVATION A



INTERNAL ELEVATION B

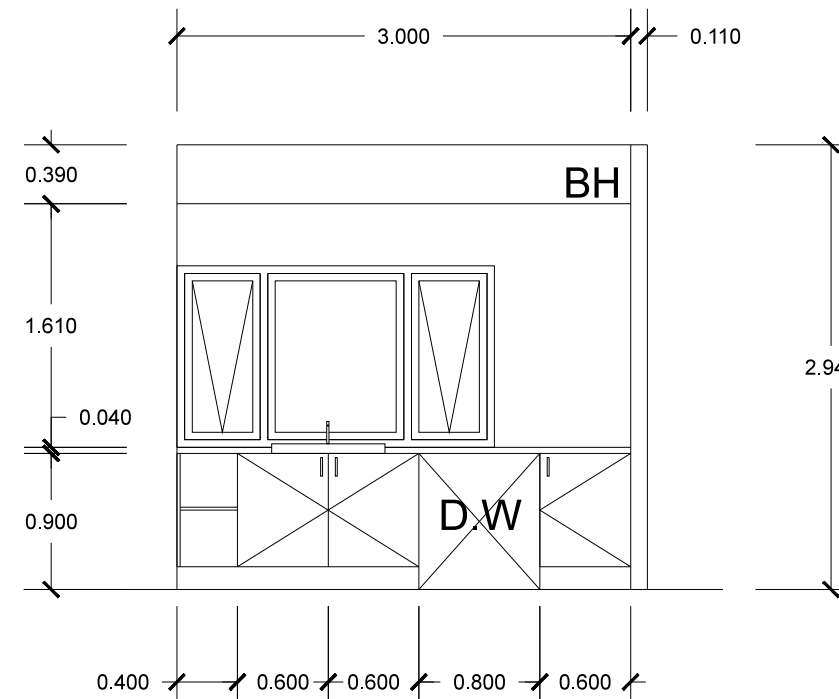


INTERNAL ELEVATION C

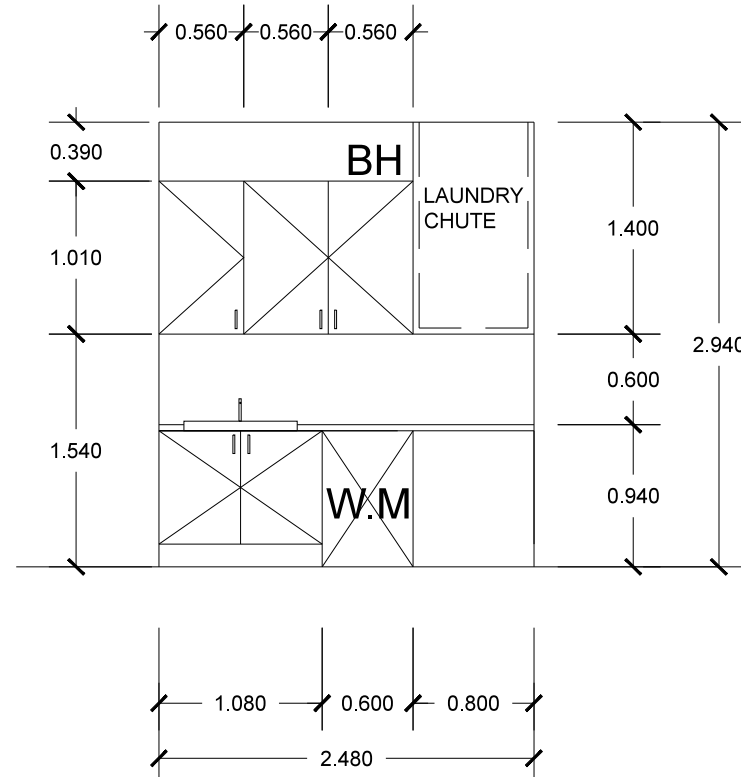


PROPOSED INTERNAL ELEVATIONS

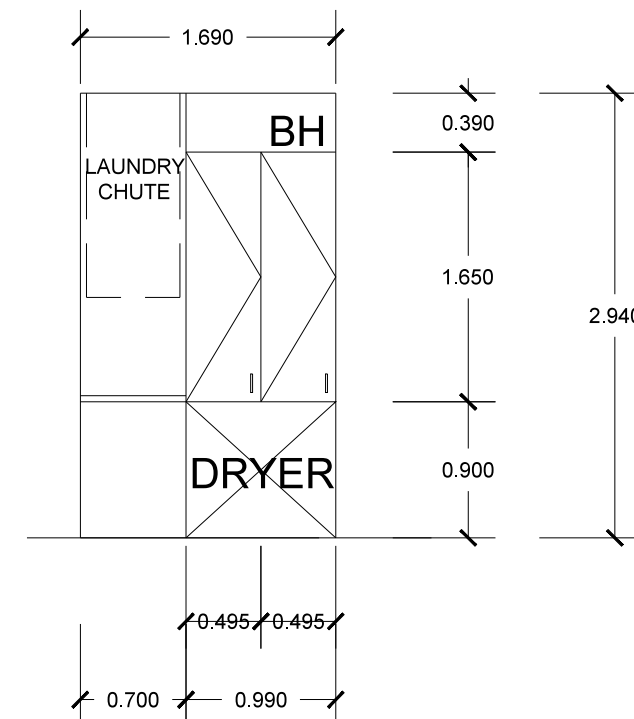
SCALE 1: 50



INTERNAL ELEVATION F

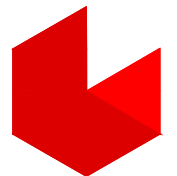


INTERNAL ELEVATION E



INTERNAL ELEVATION D

DATE	REV	DESCRIPTION
01/06	A	Sketch
15/06	B	Planning
05/07	C	Changes
15/07	D	Changes
01/10	E	Final
20/11	F	Building Rules Consent



SA United Developments

50, Garden Terrace
Lockleys SA 5032
P: 0413 498 094
E: estimatingasa@gmail.com

Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
**38, GARDEN TERRACE,
UNDERDALE**

DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 12 OF 16
JOB NO. : A002

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IMMEDIATELY

SECTION NOTES

THIS DRAWINGS IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES, AND SPECIFICATIONS.

BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

WRITTEN DIMENSION TO BE TAKEN IN PREFERENCE TO SCALE.

ALL CONSTRUCTION TO COMPLY WITH RELEVANT AUSTRALIA BUILDING CODES AND STANDARDS.

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND TO BE CONFIRMED ON SITE.

REFER TO ENGINEERS DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC, CIVIL AND FOOTING DETAILS.

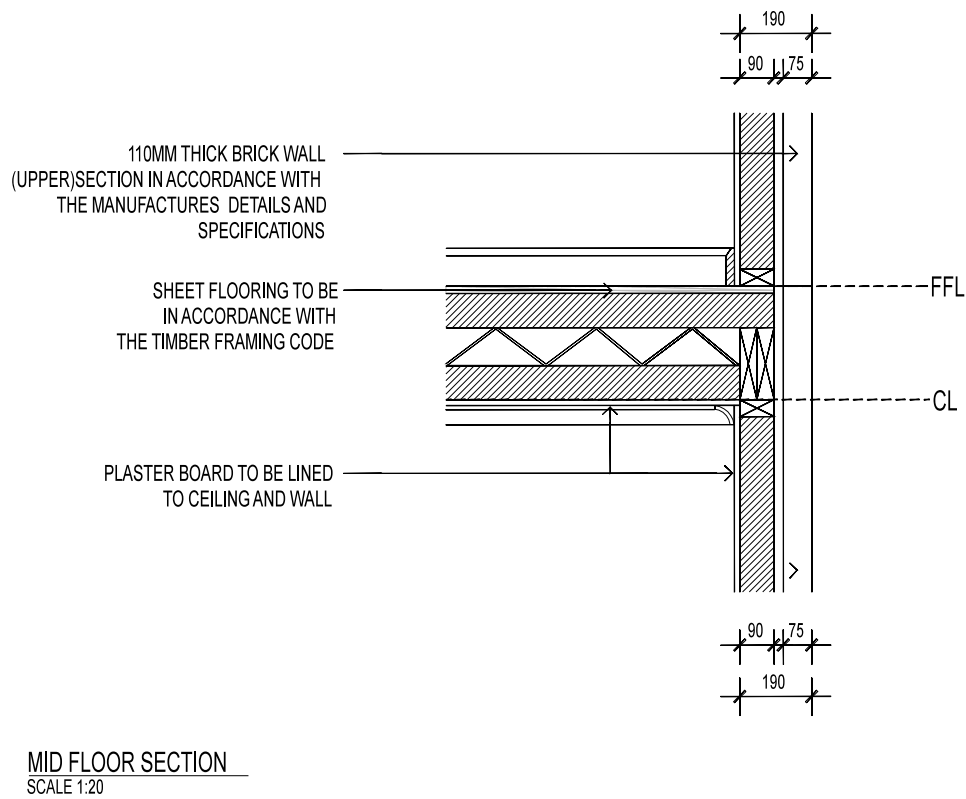
ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHING, CAPPINGS AND OTHER ITEMS REQUIRED FOR WATERTIGHT CONSTRUCTION.

ALL LINTELS AS PER ENGINEERS DETAILS AND TO COMPLY WITH AS1684.

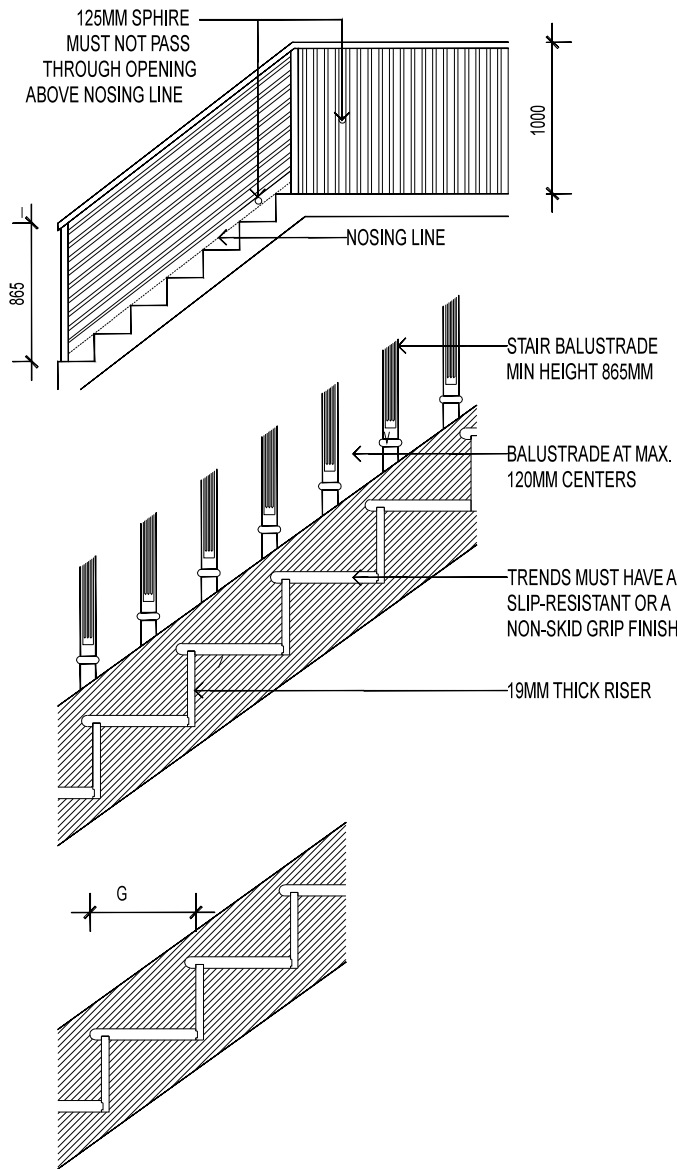
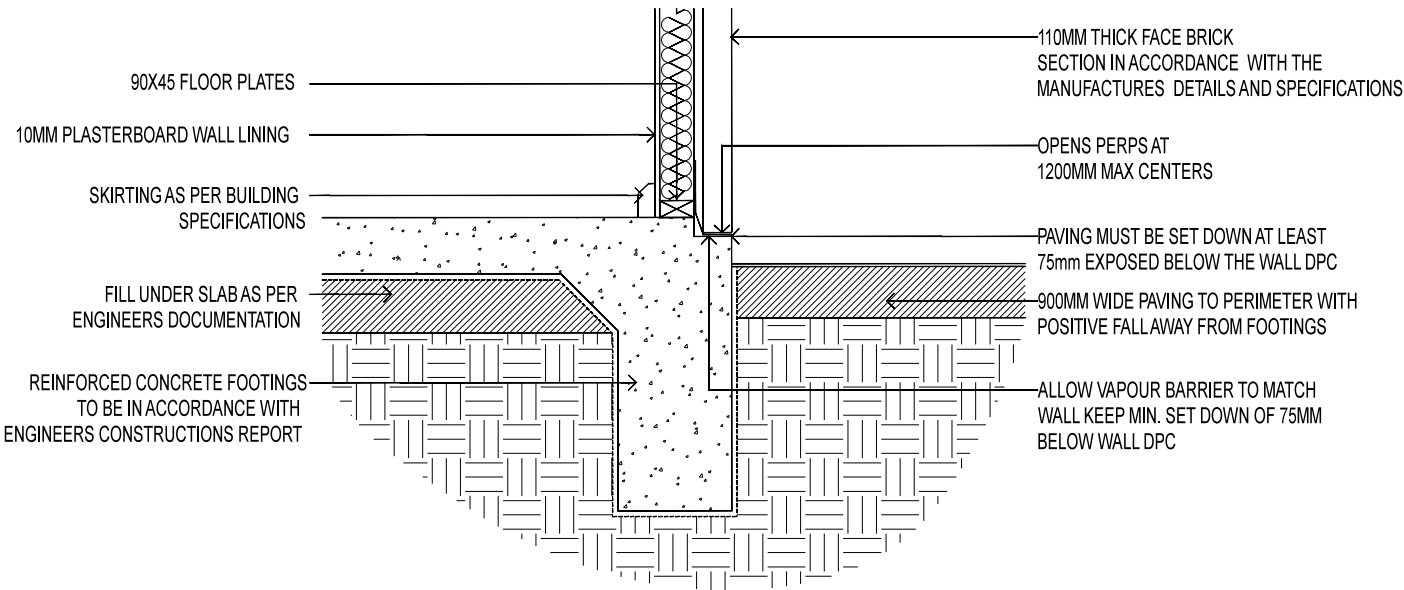
UNLESS NOTED, SPECIFIC TIMBER MEMBERS CANNOT BE SUBSTITUTED WITHOUT WRITTEN CONFIRMATION.

TERMITE CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH BCA PART 3.1.3 AND WITH AS3660.1-2000. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3600.12000 STATING METHOD OF APPLICATION INCLUDING CERTIFICATE OF COMPLETION.

ANY DISCREPANCIES IN DOCUMENTS AND/OR IN SITE TO BE REPORTED TO THE DESIGNER BEFORE ANY WORK IS COMMITTED.

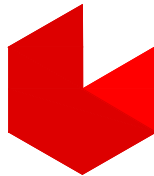


DETAILS



CONSTRUCTION OF STAIRS ARE TO COMPLY WITH AS 3.9.1 OF BCA 96- RISERS MUST NOT ALLOW A 125 SPHERE TO PASS THROUGH						
STAIR TYPE	R		G		SLOPE RELATIONSHIP	
	MIN	MAX	MIN	MAX	MIN	MAX
STAIRS	115	190	240	355	550	700
SLOPE	140	220	210	370	590	680
DWELLING 1						
BETWEEN F/FLOOR HEIGHTS 3120MM			RL:63.230 - 66.350			
STAIR TYPE	R		G			
NO. OF	17R		16G			
STAIRS	183.529MM		250MM			
STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE STAIRS SUPPLIERS DETAILS AND SPECIFICATIONS						
<u>CHECK ON SITE PRIOR TO CONSTRUCTION</u>						
A CONTINUOUS BALUSTRADE OR OTHER BARRIER BE PROVIDED ALONG THE SIDE OF ANY ROOF TO WHICH PUBLIC ACCESS IS PROVIDED, ANY STAIRWAY OR RAMP, ANY FLOOR, CORRIDOR, HALLWAY, BALCONY, VERANDAH, MEZZANINE, ACCESS BRIDGE OR THE LIKE AND ALONG THE SIDE OF ANY PATH OF ACCESS TO A BUILDING IF:						
1.IT IS NOT BOUNDED BY A WALL; AND						
2.ANY LEVEL IS MORE THAN 1 M ABOVE THE SURFACE BENEATH A						
THE HEIGHT OF A BALUSTRADE OR OTHER BARRIER MUST BE IN ACCORDANCE WITH THE FOLLOWING:						
xTHE HEIGHT MUST NOT BE LESS THAN 865 MM ABOVE THE NOSING'S OF THE STAIR TREADS OR THE FLOOR OF A RAMP. FOR BALCONIES AND VERANDAHS THE HEIGHT MUST NOT BE LESS THAN 1 M ABOVE THE FINISHED FLOOR SURFACE.						
xINCLUDING DECORATIVE BALUSTRADES						
OTHER BARRIERS MUST BE CONSTRUCTED SO THAT ANY OPENING DOES NOT PERMIT A 125 MM SPHERE TO PASS THROUGH IT AND FOR STAIRS, THE SPACE IS TESTED ABOVE THE NOSING LINE.						
xA BALUSTRADE OR OTHER BARRIER MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.						
xFOR FLOORS MORE THAN 4M ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BALUSTRADE OR OTHER BARRIER BETWEEN 150 MM AND 760 MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING.						

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Client
JESSE & MATT
Proposed Works
2 Storey Dwellings
Site Address
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UNDERDALE**

DATE : NOV 2017
DRAWN : UPAL RAJ
SHEET : 13 OF 16
JOB NO. : A002

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DRAWINGS. VERIFY DIMENSIONS AND LEVELS BEFORE COMMENCING ANY BUILDING WORK. ANY DISCREPANCY TO BE REPORTED TO DESIGNERS IMMEDIATELY

SPECIAL NOTES :

1. ALL BATHROOMS TO BE LINED UP TO 1200mm HIGH MIN. ABOVE FLOOR LEVEL WITH WATER RESISTANT LINING & OR RENDER
2. JUNCTIONS OF IMPERVIOUS WALL & FLOOR SURFACES IN CATEGORY 1 & CATEGORY 2 AREAS SHALL BE SEALED WITH NEUTRAL, SELF-CURING, FLEXIBLE SEALANTS OR POYLSHULPHIDE-BASED SEALANTS, COMPLYING WITH AS 1526 OR AS 1527 AS SHOWN IN DETAIL 6
3. FLOORS IN WET AREAS SHALL BE IMPERVIOUS & GRADED AT NOT LESS THAN 1:80 TO A REQUIRED WASTE OUTLET OR TO A SHOWER SET-DOWN CONTAINING A WASTE OUTLET
4. A ROOM CONTAINING ONLY A SINGLE WC PAN SHALL HAVE AN IMPERVIOUS FLOOR SURFACE WHICH NEED NOT BE GRADED OR DRAINED TO A WASTE OUTLET. A MINIMUM OF 90mm SKIRTING OF TILES OR SEALED TIMBER IS REQUIRED AT THE WALL & FLOOR JUNCTION. THEN AN IMPERVIOUS WALL SURFACE IS NOT REQUIRED
5. A KITCHEN FLOOR IS NOT REQUIRED TO A BE IMPERVIOUS OR GRADED TO A WASTE OUTLET. AN IMPERVIOUS WALL SURFACE IS NOT REQUIRED, EXCEPT WHERE A KITCHEN SINK ABUTS OR IS WITHIN 75mm OF A WALL
6. IN ADDITION TO REQUIREMENTS FOR AN IMPERVIOUS SURFACE THE FLOORS OF ALL CATEGORY ONE AREAS SHALL BE WATERPROOFED BY THE INSTALLATION OF EITHER AN ACCREDITED SHOWER TRAY OR A PROPRIETARY SHOWER BASE. WHERE A FIXED SHOWER SCREEN IS INSTALLED, THE WATERPROOFING SHALL EXTEND:

a) UP THE INNER FACE OF THE HOB AND ACROSS THE TOP TO THE OUTER FACE OF A HOB; OR

b) WHERE THERE IS A 25mm MINIMUM SET DOWN TO THE SHOWER, 10mm PAST THE END OF THE SET DOWN; OR

c) FOR DISABLED ACCESS WHERE NO HOB OR SET DOWN IS PROVIDED, THE WHOLE OF THE ROOM FLOOR SHALL BE CONSIDERED AS THE CATEGORY ONE AREA.
7. WHERE A FIXED SHOWER SCREEN IS NOT INSTALLED THE CATEGORY ONE AREA SHALL BE CONSIDERED TO EXTEND TO THE FLOOR WITHIN A HORIZONTAL RADIUS OF 1 500mm OF THE SHOWER OUTLET.

THE IMPERVIOUS FLOOR SURFACE WITHIN THE SHOWER ENCLOSURE SHALL BE GRADED AT A MINIMUM OF 1:60 TO A SHOWER TRAP. WHERE THE FLOOR OUTSIDE THE SHOWER IS NOT DRAINED INTO THE SHOWER TRAP, A FLOOR TRAP SHALL BE PROVIDED.
8. ALL SHOWER TRAYS SHALL BE DRAINED INTO A DRAINAGE FLANGE IN THE SHOWER TRAP. THE HEIGHT OF THE SIDES ABOVE THE HIGHEST POINT OF THE FINISHED FLOOR SURFACE SHALL BE A MINIMUM OF 100mm ABOVE THE SHOWER FLOOR LEVEL OR A MINIMUM OF 75mm ABOVE AN ADJOINING STRUCTURAL FLOOR LEVEL OR 25mm ABOVE THE MAXIMUM POSSIBLE WATER LEVEL IN THE SHOWER COMPARTMENT WHICHEVER IS
- AN EXTERNAL TRAY SHALL RETURN UP THE STUD-SIDE OF THE WALL BE ADHERED TO THE FLOOR, BUT SHALL NOT FIXED TO THE STUD WALL. AN INTERNAL TRAY SHALL BE AN ACCREDITED SYSTEM WHICH IS SEALED AGAINST THE SUBSTRATE, OR WALL LINING OR SHALL EXTEND TO THE

STANDARD BRACING UNITS

TYPE A HARDBOARD BRACING (6.4mm) 3.4kN/m

- A

P.9

3.0 kn (2 type A top fixings)
or (1 type D (a) top fixing)
- A

P1.2

4.0 kn (2 type A top fixings)
or (1 type D (b) top fixing)
- A

1.8 (2.7kn) (2 type A top fixings)
or (3 type C top fixings)

2.1 (3.1kn) (2 type A top fixings)
or (3 type C top fixings)

2.4 (3.6kn) (2 type A top fixings)
or (4 type C top fixings)

2.7 (4.0kn) (2 type A top fixings)
or (4 type C top fixings)

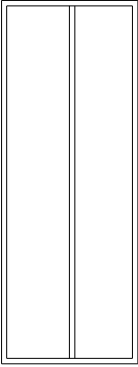
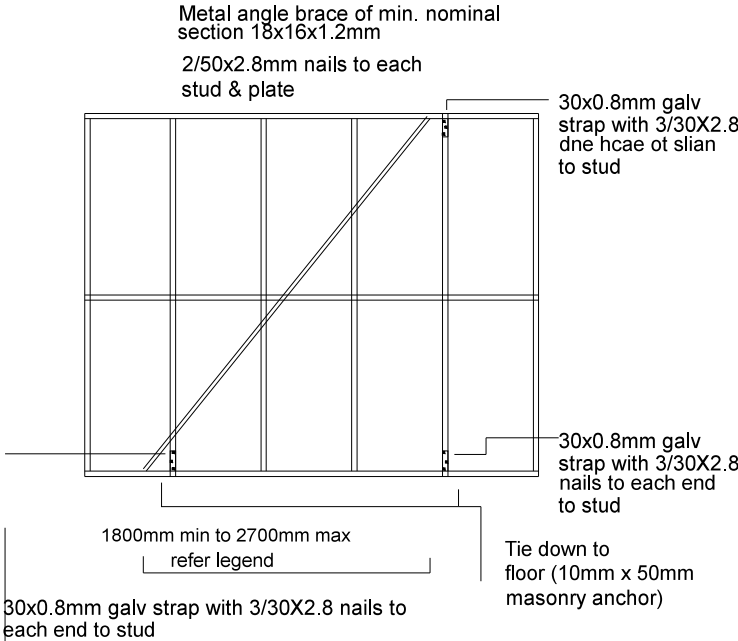
Hardboard shall be nailed to frame using minimum 25x2.8mm galvanised nails or equivalent. Nails shall be located a minimum of 10mm from the vertical edges and 20mm from the top and bottom edges panel edges shall be supported by studs

- Fastener spacing
top plate 100mm
bot plate 100mm
vertical edges 100mm
intermediate studs 300mm

Tie down to slab
10mm x 50mm masonry
anchor to each side of
bracing panel

TYPE A BRACING (1.5kN/m)

METAL ANGLE BRACE. THE MAXIMUM DEPTH OF SAW CUT NOT TO EXCEED 20mm



TYPE B HARDBOARD BRACING (6.4mm) 6.0kN/m

- B

P.9

5.4 kN (1 type B top fixing)
or (2 type D (a) top fixings)
- B

P1.2

7.2 kN (1 type B top fixing)
or (2 type D (a) top fixings)
- B

P.6

2.7 kN (1 type B top fixing)
or (1 type D (a) top fixing)
with M10 x 50mm coachscrew
& 38x38 sq. washer to each corner
- B

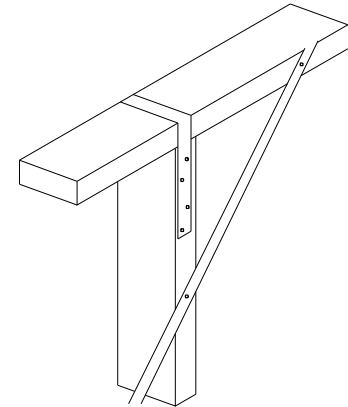
P.45

2.7 kN (1 type B top fixing)
or (1 type D (a) top fixing)
with M10 x 50mm coachscrew
& 38x38 sq. washer to each corner

NOTE:

All bracing capacities up to 2700mm high walls. For walls over 2700mm refer to page 145 table 8.19 of AS1684.2-1999

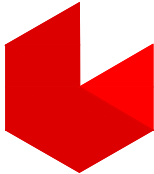
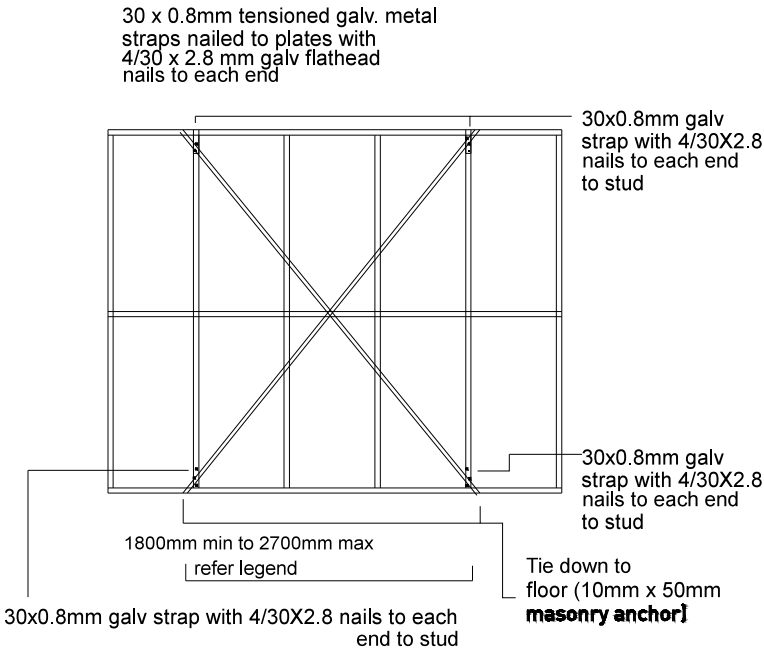
30 X 0.8MM METAL STRAP LOOPED OVER PLATE AND FIXED TO STUD WITH 4/30 X 2.8MM FLATHEAD NAILS TO EACH END



HARDBOARD SHALL BE NAILED TO FRAME USING MINIMUM 30X2.8MM GALVANISED NAILS OR EQUIVALENT. NAILS SHALL BE LOCATED A MINIMUM OF 10MM FROM THE VERTICAL EDGES AND 15MM FROM THE TOP AND BOTTOM EDGES PANEL EDGES SHALL BE SUPPORTED BY STUDS

TYPE B BRACING (3.0kN/m)

DOUBLE DIAGONAL TENSION BRACE



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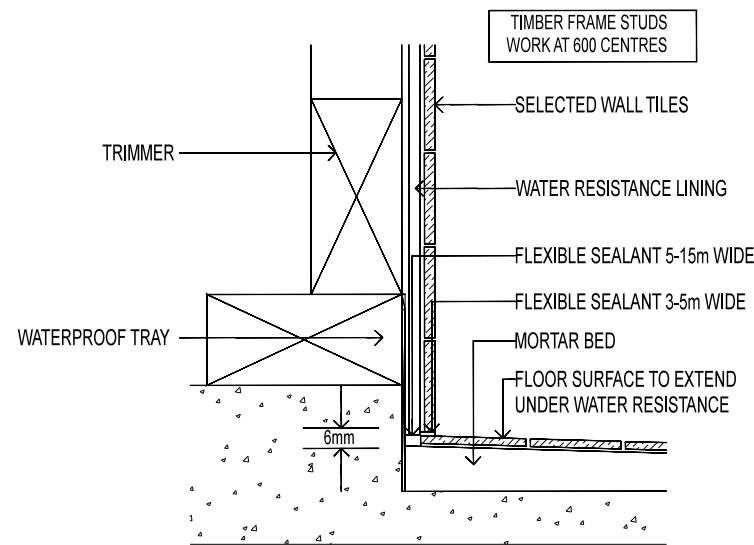
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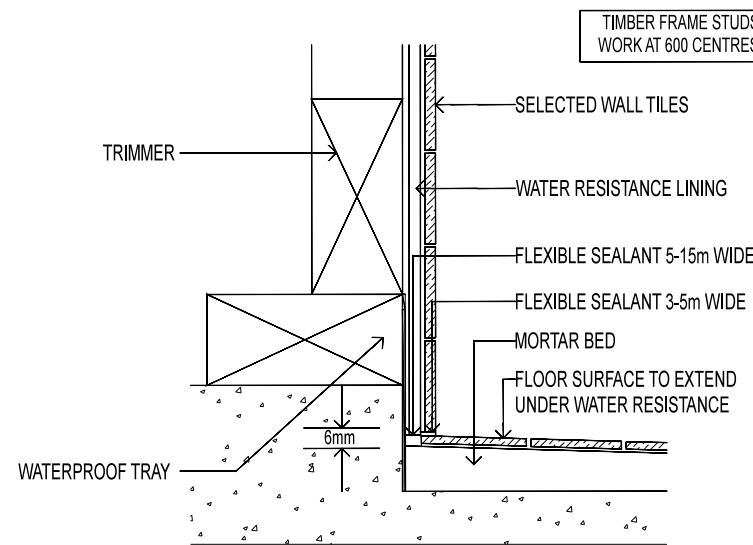
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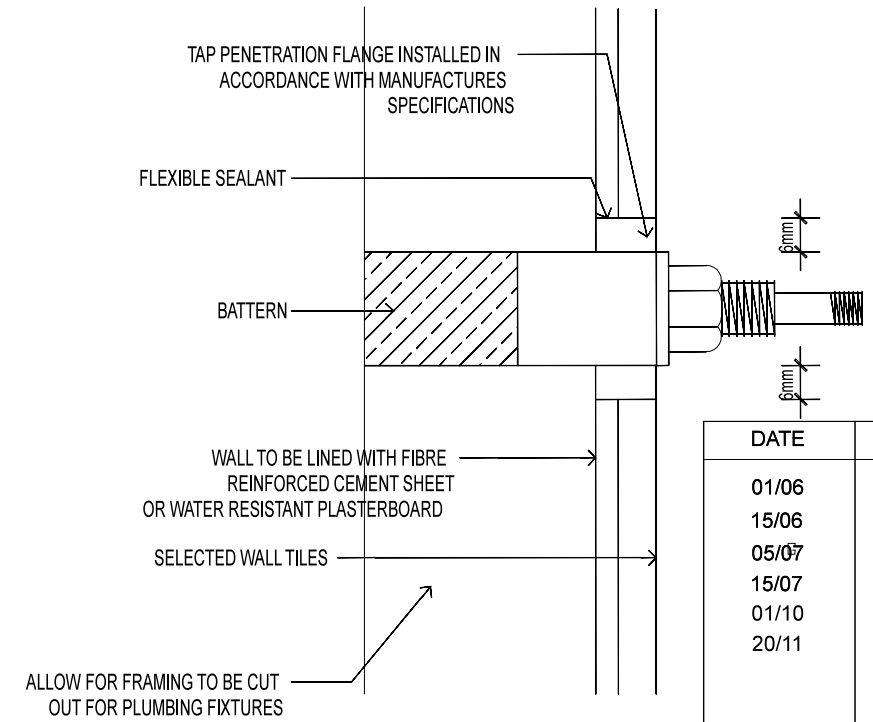
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WATERPROOFING SHOWER WALL AND
EXTERNAL TRAY

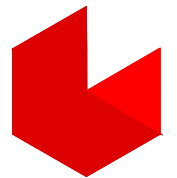


WATERPROOFING SHOWER WALL AND
INTERNAL TRAY



SECTION THROUGH TAP INSTALLATION

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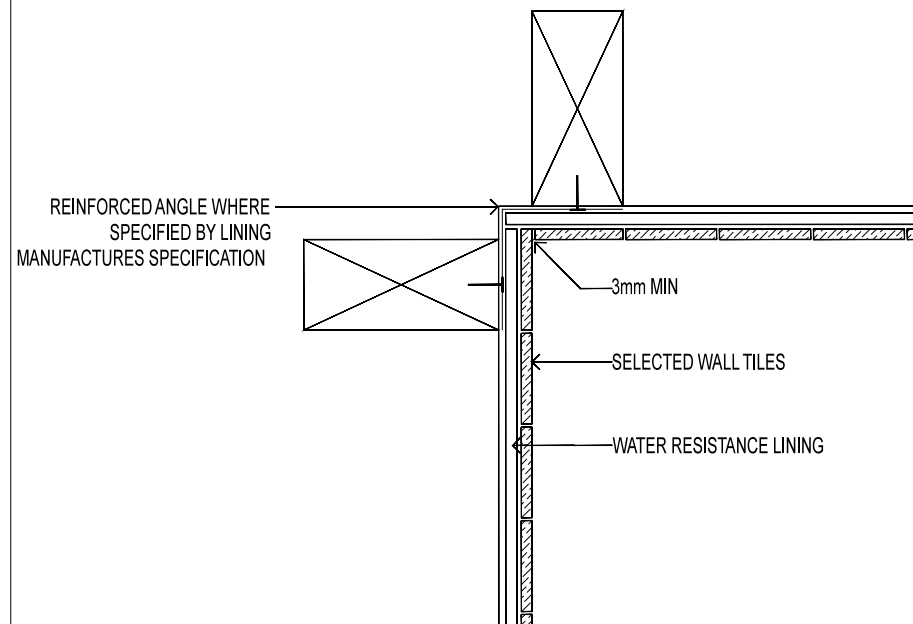
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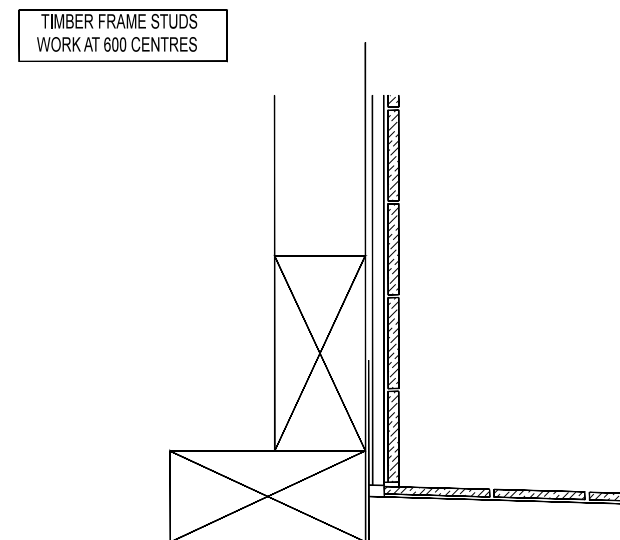
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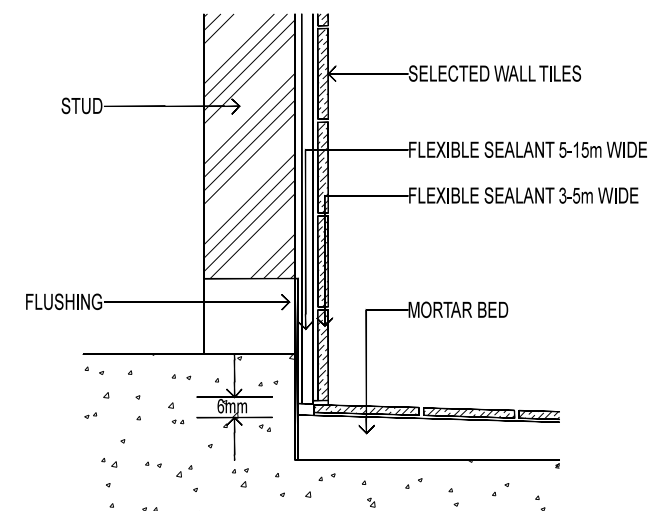
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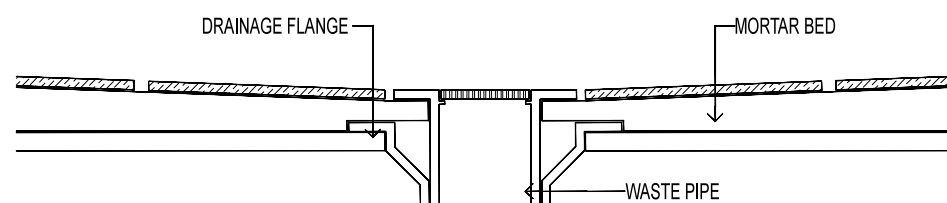
IMPERVIOUS WALL CORNER JUNCTION



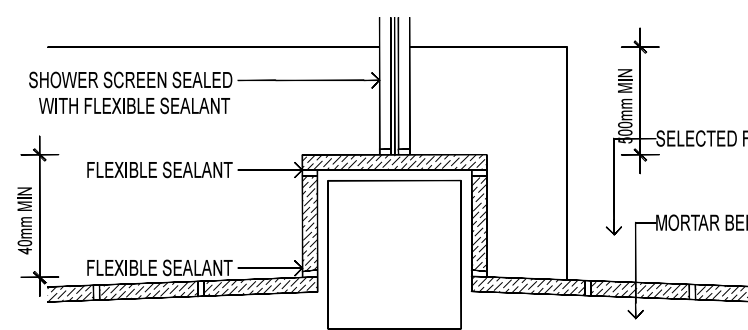
JUNCTION OF IMPERVIOUS WALL & IMPERVIOUS
FLOOR - CATEGORY 2



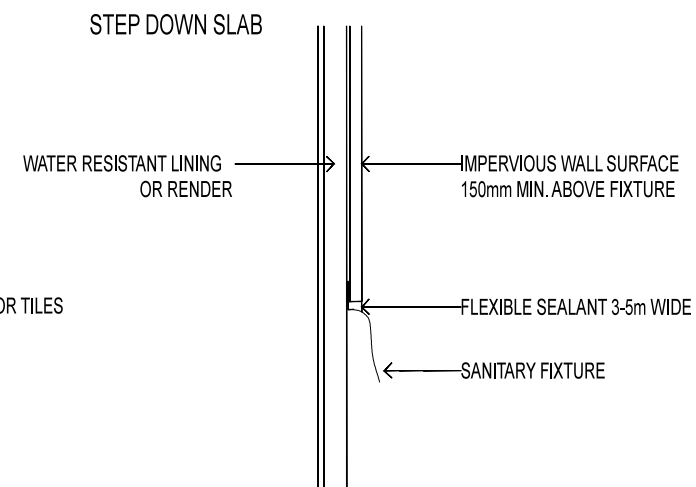
STEP DOWN SLAB



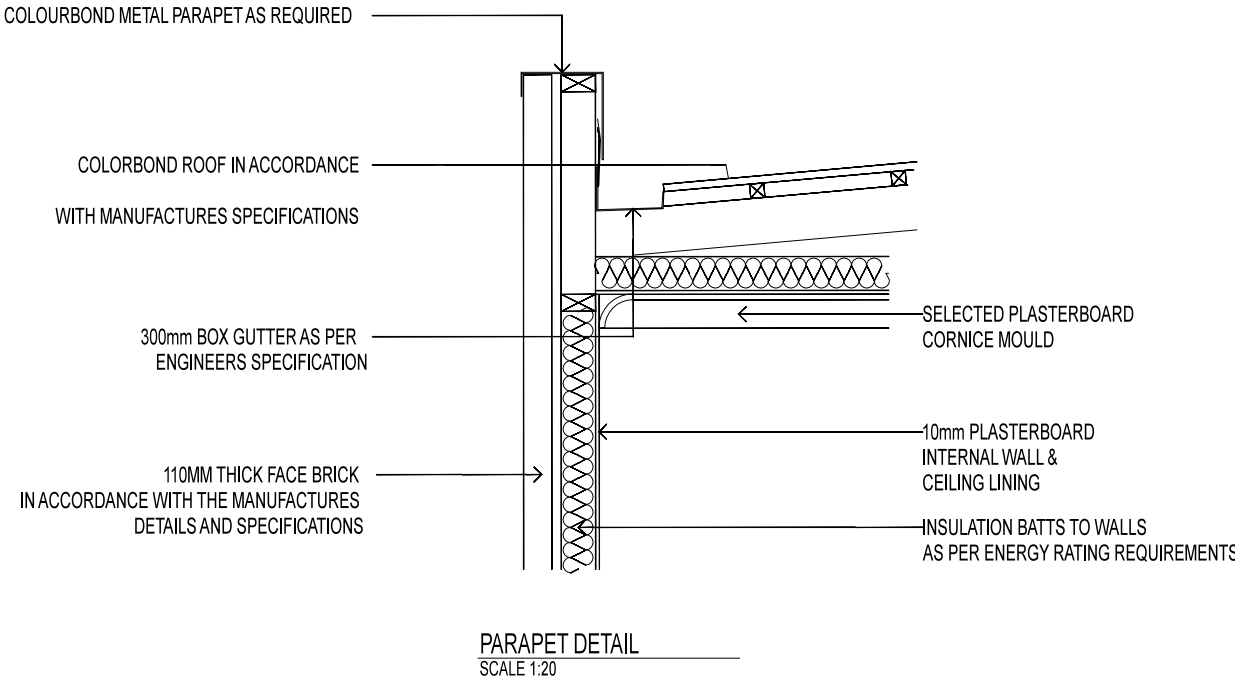
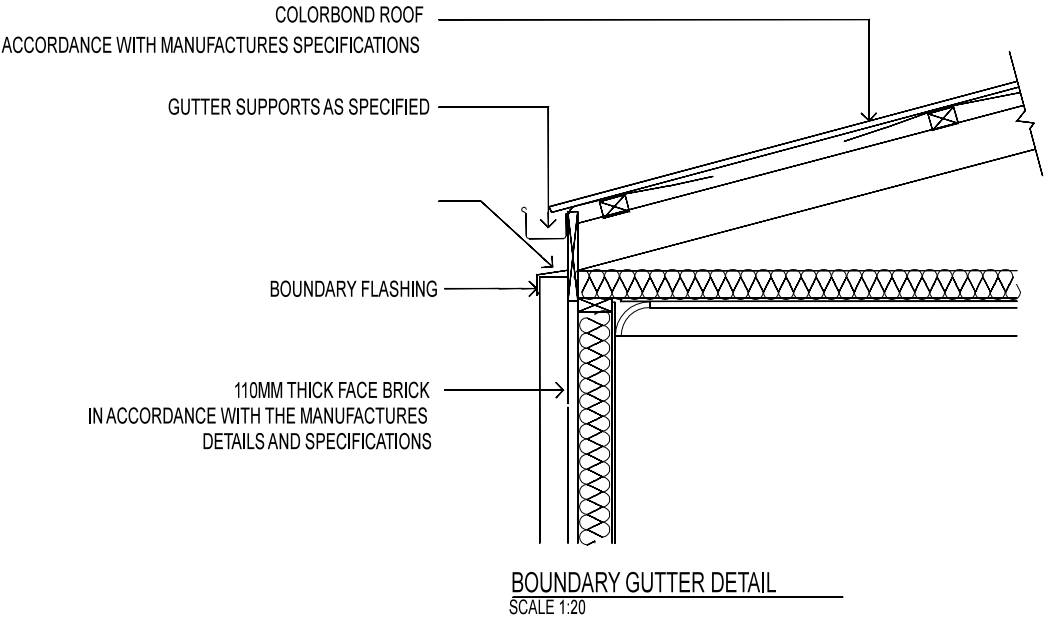
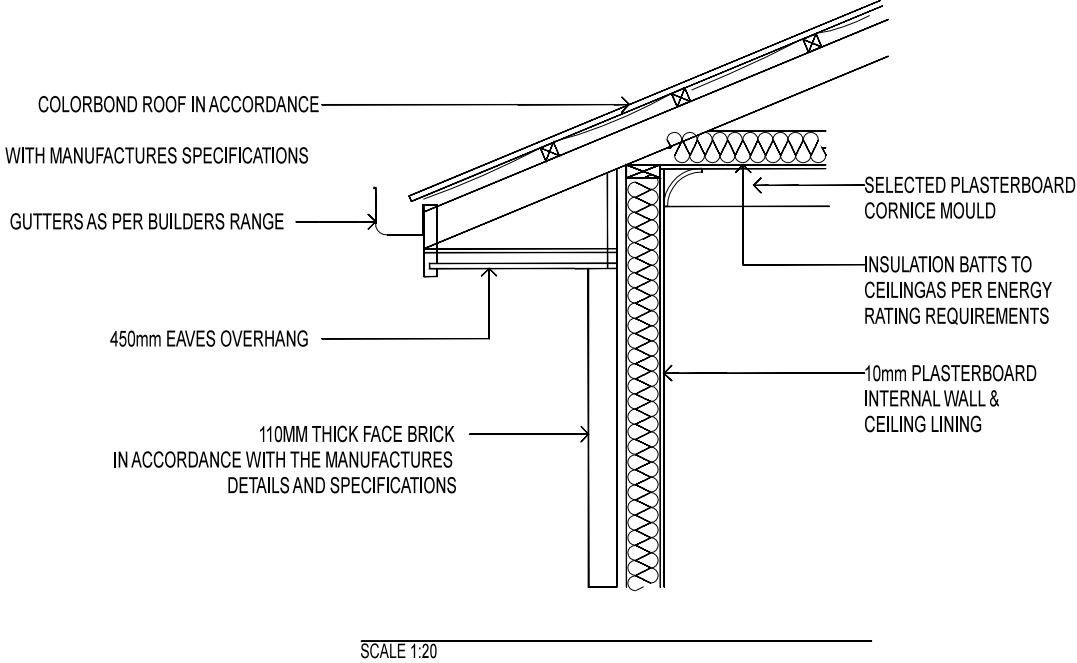
WASTE DETAIL



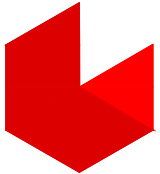
SHOWER HOB



IMPERVIOUS JUNCTION OF
FIXTURE & IMPERVIOUS WALL



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